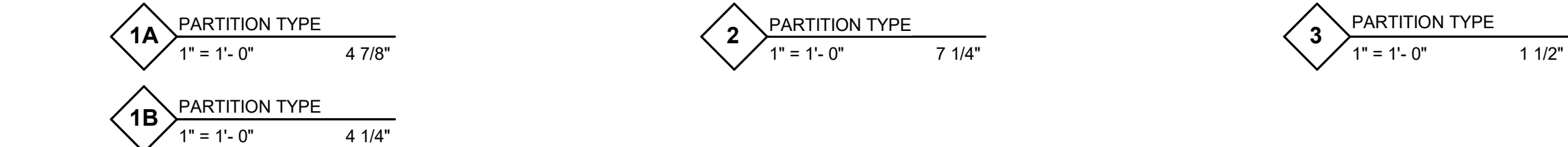
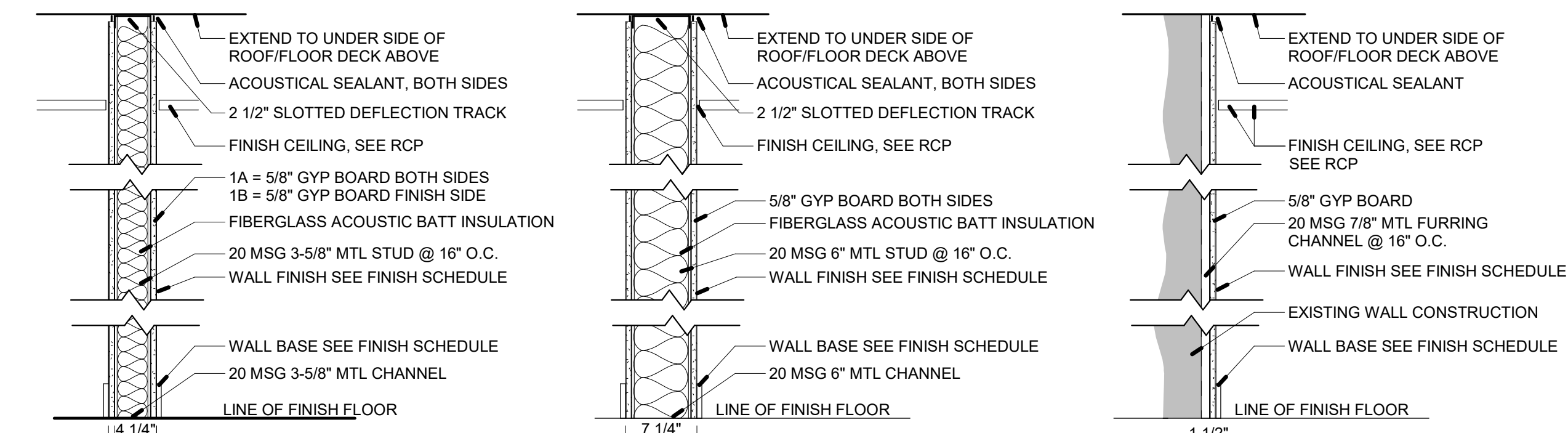


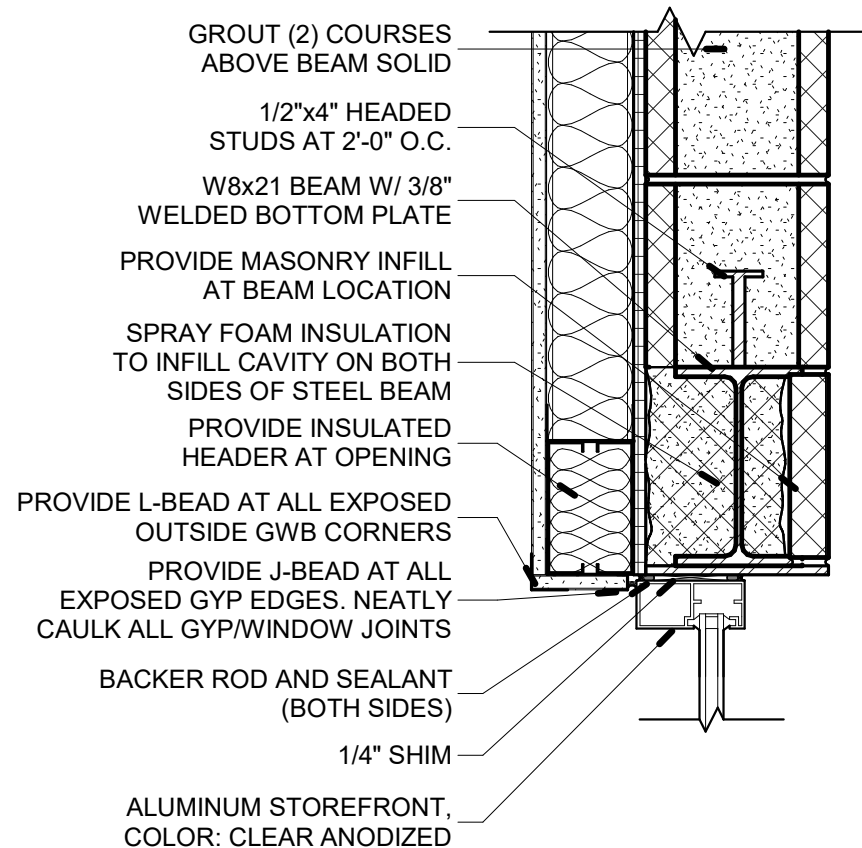
GENERAL DEMOLITION NOTES:

- A. - The demolition work indicated is intended to assist the Contractor and give general information. It is recommended that the Contractor visit the Project site prior to bidding to fully acquaint themselves with the extent of all demolition work, which is necessary to complete the alterations and new construction as described in the Contract Documents. All demolition work required shall be included in the contract price. The Contractor will not be entitled to any claims for additional compensation related to required demolition.
- B. - The Contractor shall verify all conditions and dimensions with the contract scope of work and notify the Architect immediately in writing of any deviation from Contract Documents necessitated by field conditions or items not covered.
- C. - Dashed lines on the demolition plans represent walls, doors, soffits, casework, equipment, etc. to be removed. Patch and repair existing adjoining areas to remain.
- D. - Demolition item number indicates general area but does not show every occurrence.
- E. - Demolition work shall be performed in a safe and acceptable manner to authorities having jurisdiction and the Owner.
- F. - Prior to demolition, Contractor shall review above ceiling conditions and areas below construction to confirm building components and equipment that are required to be preserved. Contractor shall notify Architect immediately of any such instances.
- G. - Prior to demolition of any existing construction the Contractor must verify that it is not supporting construction to remain. Notify the Architect before demolition if an item is questionable. The Contractor shall provide all temporary shoring, scaffolding, etc. Which are necessary to prevent deflection, subsidence, collapse, or any other type of damage.
- H. - Prior to demolition, Contractor shall review all items to be demolished with Owner to identify which items are to be salvaged and remain as Owner's property or temporarily stored for reuse and/or reinstallation.
- I. - All trades shall be responsible for all cutting associated with the work done under their trade.
- J. - All trades shall be responsible for patching adjacent surfaces & existing walls after demolition to match existing/receive new finishes & equipment. Patching shall match adjacent work in finish, structural qualities, coursing of masonry, and other characteristics. Patched surfaces to comply with fire and smoke resistant partition/barrier ratings, acoustical ratings, and other performance criteria.
- K. - All masonry infill to be "booted" into existing masonry assemblies where being exposed after construction.
- L. - Existing materials scheduled to remain may be temporarily removed if necessary for new work, but must be reinstalled in their previous locations in equal or better condition.
- M. - Contractor shall schedule the construction activities in order to maintain the security of the building throughout the construction.
- N. - The Contractor shall maintain a safe means of egress during demolition work and provide temporary separation of work areas from other occupied areas of the building including dust partitions, walk-off mats, temporary filters, etc. Fire alarm and smoke detection system to remain operational at all time. Protect smoke detectors as required and in conformance with codes and local authorities having jurisdiction.
- O. - Contractor to provide temporary partitions/dust protection which maintains the existing ratings. Proposed locations to be reviewed with Owner and Architect prior to start of work.

Demolition Notes	
Demo Type	Demo Note
1	Remove existing locker base. Prep all surrounding walls in previous locker locations for new finishes.
2	Carefully remove existing storefront window system. Saw cut block below window to allow for new door opening. Take care not to damage surrounding block. See floor plan, door schedule, & elevation for more information.
3	Remove existing wall, door, & frame. Take care not to damage surrounding block. Prepare remaining wall for new finishes.
4	Sawcut & remove existing floor slab, sub-base, & earth to allow for new construction. See floor plan, wall sections, details, P documents, etc. for more information.
5	Relocate existing pay station to outside of column, as required for construction.
6	Relocate existing electrical, plumbing, & mechanical feeds as required for new construction. See M.E.P. documents for information.
7	Partially remove existing gate, fence, hardware, exit sign as required for new construction. Salvage and reinstall as noted on construction documents.
8	Partially remove existing bollards as required for new construction. Salvage and reinstall as noted on construction documents.
9	Remove existing floor drain. See P documents for information.
10	Remove existing mechanical unit & relocate as documented on M documents. See M documents for information.
11	Remove existing carpet tiles & area rugs. prepare slab for new finish.
12	Salvage fire extinguisher cabinet for reinstallation. Infill wall and prepare for new finishes



- Partition Notes:**
- Provide control joints in the gypsum board where any of the conditions below exist:
 - A. Where a partition, wall, or ceiling traverses a construction joint (expansion, seismic or building control element) in the base building structure.
 - B. Where a wall or partition runs in an uninterrupted straight plane exceeding 30 linear feet.
 - C. In ceilings with perimeter relief, control joints shall be installed so that linear dimensions between control joints do not exceed 50 ft and total area between control joints does not exceed 2500 sq ft.
 - D. In ceilings without perimeter relief, control joints shall be installed so that linear dimensions between control joints do not exceed 30 ft and total area between control joints does not exceed 900 sq ft.
 - E. Where ceiling framing members change direction.
 - F. Where specified by the architect.
 - All partitions to be type 1A unless otherwise noted on plans.
 - Provide a minimum of (2) king studs at all door openings.



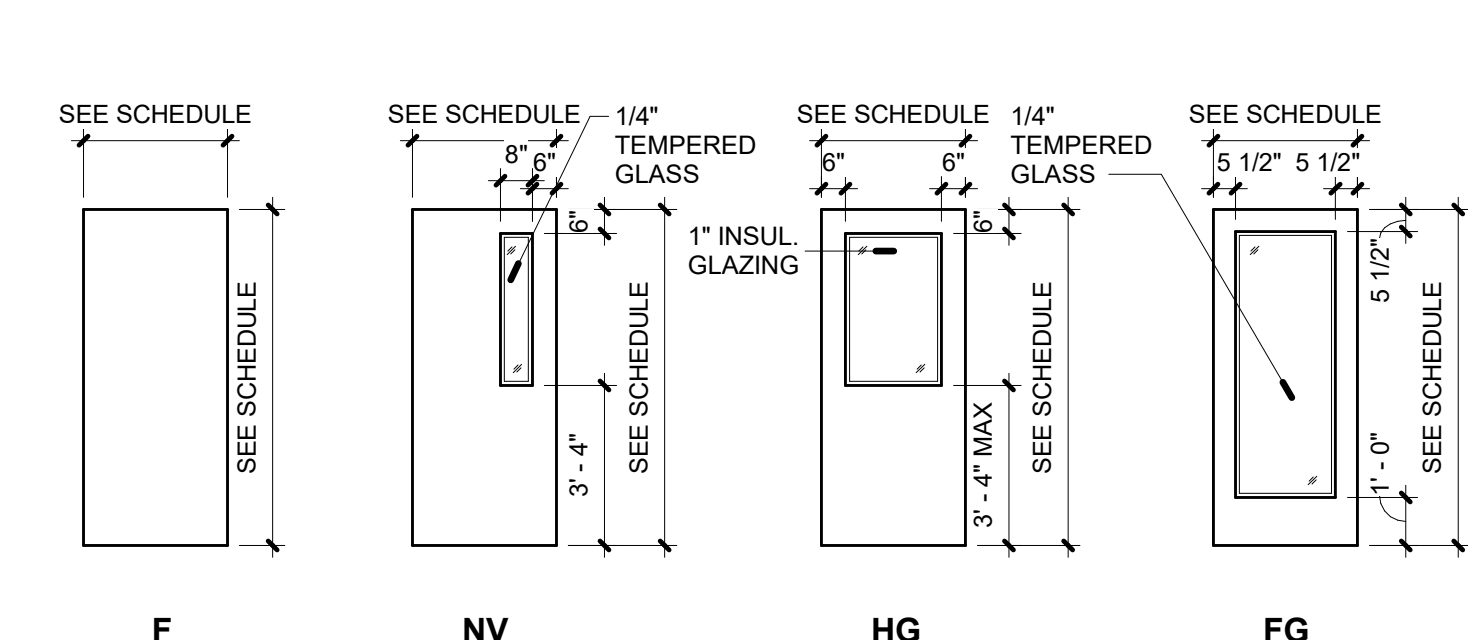
7 Detail - HM Frame Head
1 1/2" = 1'-0"

GENERAL CONSTRUCTION NOTES:

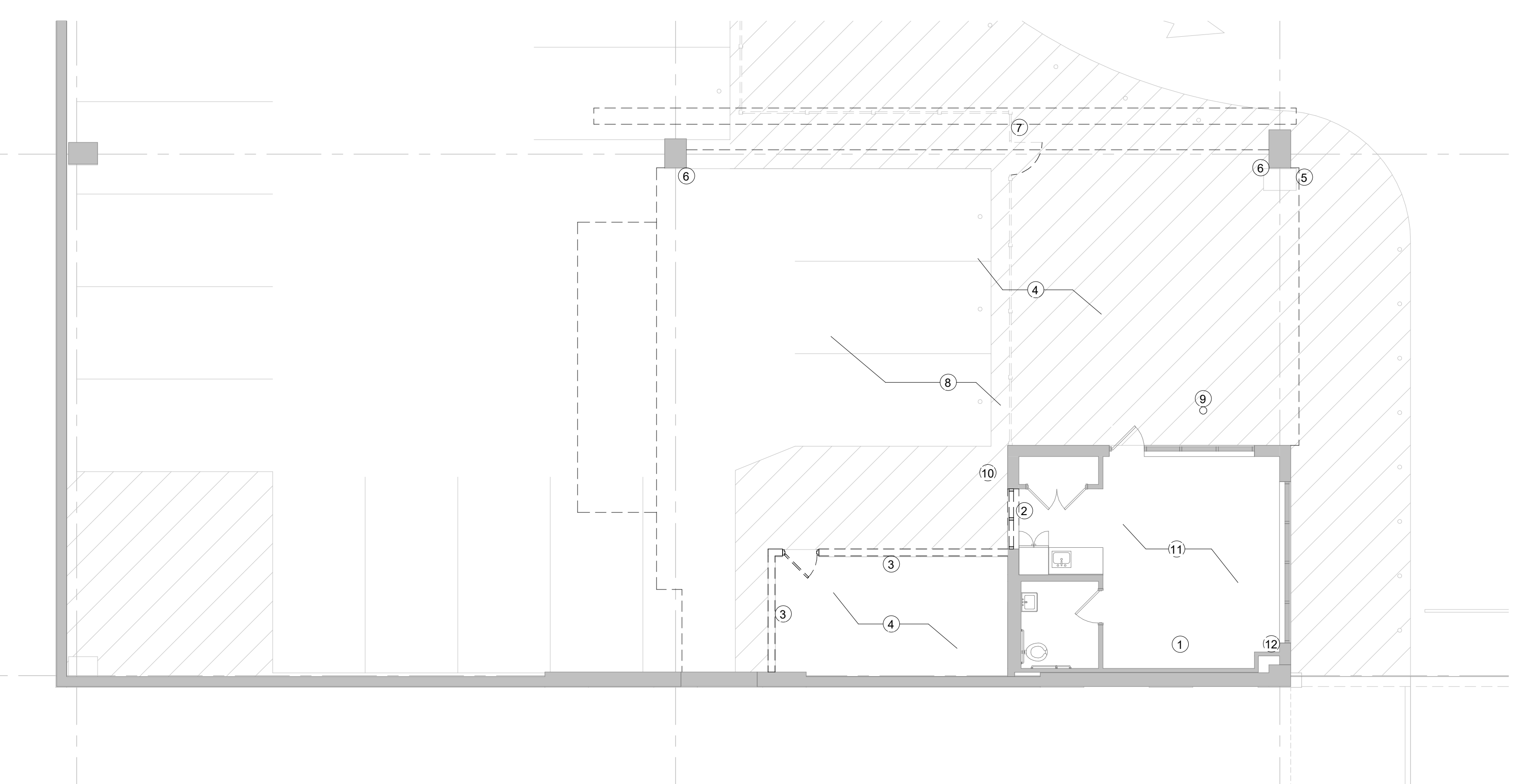
- All work shall be installed and erected in accordance with building and safety codes mandated by federal, state and local government laws, ordinances and regulations; industry standards and the requirements and rules and regulations of all public utilities. All local permits and fees shall be paid by the installing Contractor unless otherwise noted.
- Prior to submitting a proposal, contractor/bidder shall have carefully examined the site and be familiar with the actual conditions and existing improvements, equipment and their locations; and Contractor/bidder understands that the actual conditions and existing structures, improvements, equipment and their locations may be different from that depicted on the plans and specifications provided. In submitting a bid and entering into an agreement, Contractor/bidder relies upon its examination of the site and the actual conditions at the site. Any and all additional labor/material/equipment that may be required as a result of Contractor/bidder's failure to follow these requirements shall be provided by the Contractor/bidder at no additional cost to the Owner.
- Contractor shall field verify all conditions and dimensions at the job site prior to start of work and shall be responsible to notify the Architect of any and all discrepancies in writing. If discrepancies occur between drawings and/or project manual and no addenda are issued to clarify the discrepancies, the more expensive or greater quantity option(s) shall be included in the work.
- Contractor to make every effort to coordinate or schedule activities to minimize areas of disruption occurring at any one time. Contractor shall coordinate interruption of any services affecting the adjoining areas with the Owner.
- It shall be the responsibility of the Contractor(s) to coordinate their work with other Contractor(s) working on the project and for sharing shop drawings and installation instruction. Any labor and material required in order to make a system operable and/or required for proper installation shall be made at no additional cost regardless if specified or not.
- General Contractor shall provide necessary concealed blocking for support as required for complete installation at no additional cost.
- Contractor(s) are to verify depth/height of any items installed and make appropriate adjustments for a complete installation.
- Any damage to site and/or buildings caused as a result of the construction process shall be repaired and/or made new by the Contractor causing the damage as determined by the Architect/Owner.
- Where a fire rated or sound rated partition/wall is called for, all voids between the partition and adjoining surface shall be sealed accordingly with rated barrier materials by the Contractor installing the partition (or in existing partitions) as approved by the Architect/Owner.
- Any item passing through a fire rated or sound rated partition shall be sealed accordingly with rated barrier materials by the Contractor installing the item.
- Where patching is called for, the finish shall match existing adjacent. If no new finish is scheduled or if finish cannot match existing, the Contractor shall install new finishes to closest logical point (i.e. corner, joint, column, etc.) To blend with existing at no additional cost.
- Where a partition/wall or item is removed that contains active piping, ductwork, wiring, and/or controls necessary for adjacent items which are to remain functioning, the Contractor for that trade shall relocate those items at no additional cost.
- Contractor to provide adequate protection of all existing finishes/building elements to remain during entire construction period.
- Owner supplied equipment to be ADA compliant.
- Owner to submit product data to the contractor for all Owner supplied equipment prior to the submittal of associated shop drawings for coordination purposes.

Door Schedule											
Door Number	Door					Frame			Lock Function	Comments	
	Type	Width	Height	Thickness	Material	Finish	Type	Material			Finish
101A	HG	3'-0"	7'-0"	1 3/4"	HM	PT-1	2	HM	PT-2	EXIT	PROVIDE CARD ACCESS
101B	FG	3'-0"	7'-0"	1 3/4"	HM	PT-1	3	HM	PT-2	CLASSROOM	
103	F	3'-0"	7'-0"	1 3/4"	HM	PT-1	1	HM	PT-2	PRIVACY	
104	F	3'-0"	7'-0"	1 3/4"	HM	PT-1	1	HM	PT-2	PRIVACY	
105	F	3'-0"	7'-0"	1 3/4"	HM	PT-1	1	HM	PT-2	PASSAGE	
106A	NV	3'-0"	7'-0"	1 3/4"	HM	PT-1	1	HM	PT-2	PASSAGE	
106B	NV	3'-0"	7'-0"	1 3/4"	HM	PT-1	1	HM	PT-2	PASSAGE	
107	FG	3'-0"	7'-0"	1 3/4"	ALUM.	MATCH EXISTING	SF-1	ALUM.	MATCH EXISTING	EXIT	

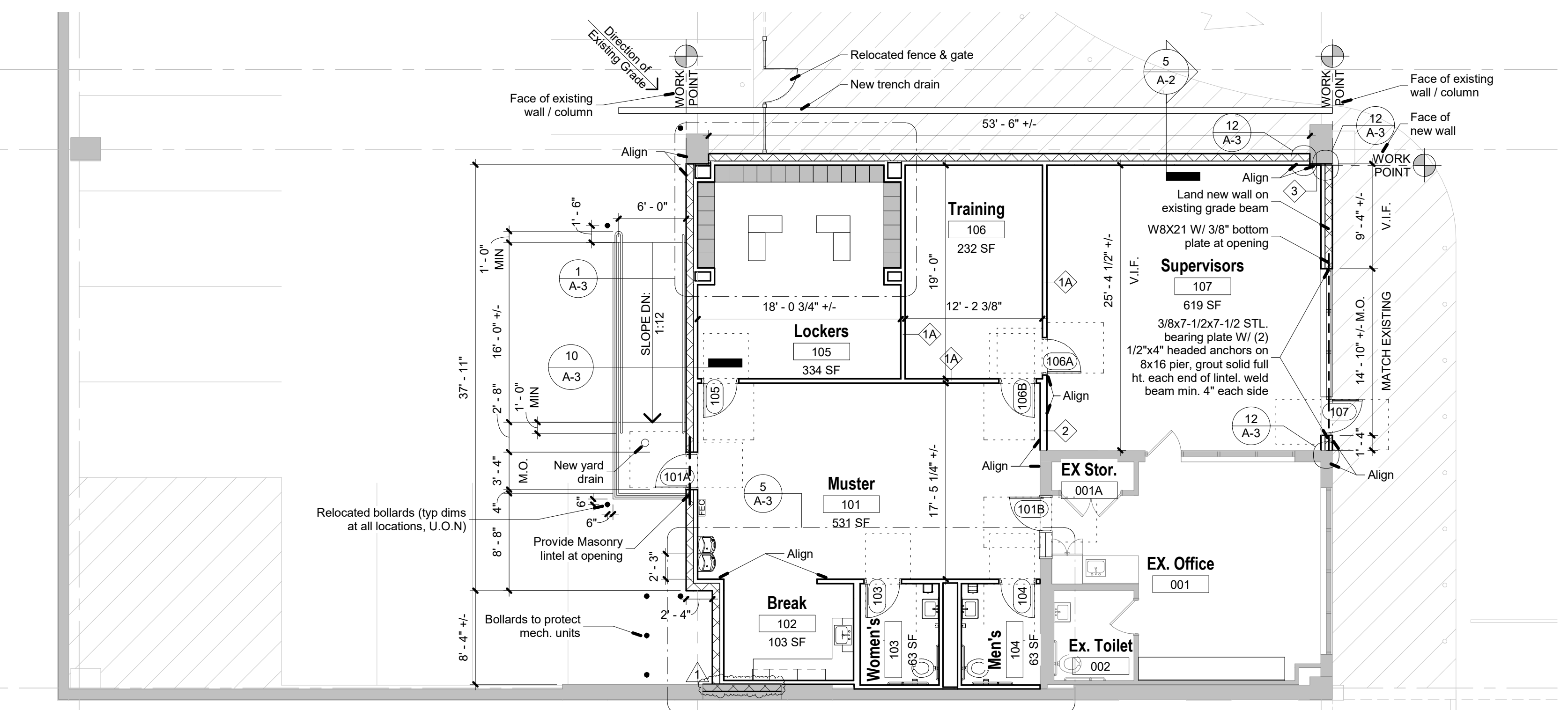
9 Detail - HM Frame Head
1 1/2" = 1'-0"



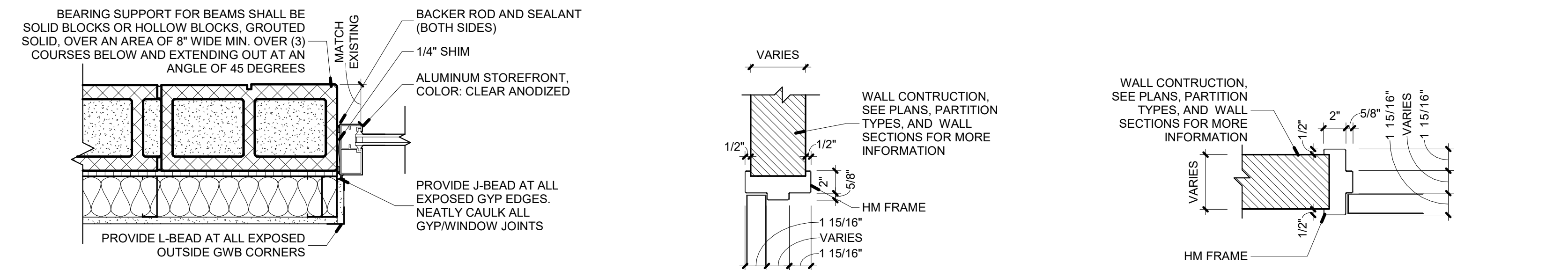
3 Door Types
1/4" = 1'-0"



1 Floor Plan - Demolition Plan
1/8" = 1'-0"



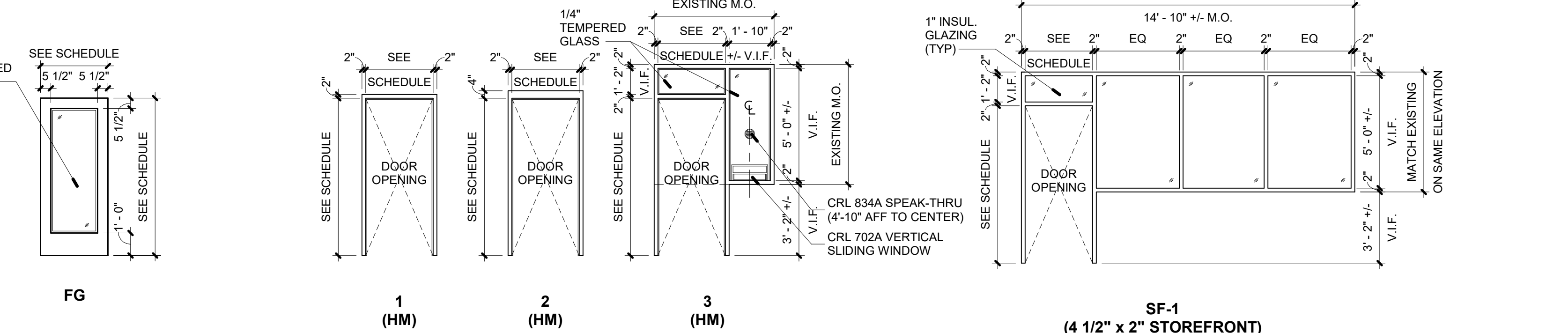
2 Floor Plan - New Work Plan
1/8" = 1'-0"



8 Detail - HM Frame Head
1 1/2" = 1'-0"

5 Detail - HM Frame Head
1 1/2" = 1'-0"

6 Detail - HM Frame Jamb
1 1/2" = 1'-0"



4 Frame Types
1/4" = 1'-0"



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REVISIONS

No.	Date	Description
1	08/31/20	Addendum 1

DRAWING TITLE
Demolition Plan,
New Work Plan,
Partition Types,
Door Schedule,
Door & Frame
Types

PROJECT NUMBER
20.138

DRAWN BY
ADM

SCALE
As indicated

DATE
08/05/2020

DRAWING NUMBER

A-1

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