

REQUEST FOR PROPOSALS

For Acquisition and Redevelopment of a Site
Within Center City Allentown, Pennsylvania

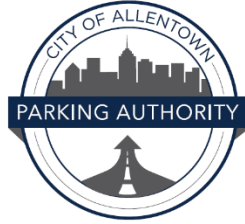
October 2020

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Contact:

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Announcement

REQUEST FOR PROPOSALS (RFP)

The Allentown Parking Authority Acquisition and Redevelopment of a Site Within Center City Allentown, PA

The Allentown Parking Authority is soliciting proposals from qualified developers to acquire and develop prime residential and/or mixed-use development for a site in downtown location.

The location is a portion of 901-933 Walnut Street.

Important Dates:

All interested proposers must register at by contacting Richard A. Young, P.E., Project Manager, at young@allentownparking.com when downloading the Request for Proposals and include the name, telephone number, and e-mail address of the contact person for the proposal. The proposers, and only those proposers, that register with the Allentown Parking Authority for this Request for Proposals will receive any addendums and the Allentown Parking Authority will only accept proposals the developers that register.

Questions regarding the proposal may be submitted in writing to young@allentownparking.com by 4:00 p.m. on **November 6, 2020**. All responses to questions will be sent out as an addendum to the e-mail address provided by prospective bidders.

Sealed proposals (**10 unbound copies**) must be received by The Allentown Parking Authority no later than **November 20, 2020 at 1:00 p.m.** ALL PROPOSALS MUST BE SEALED AND CLEARLY MARKED, "**The Allentown Parking Authority – Walnut Street Development Proposal**". Mailed copies should be addressed to:

ATTN: Richard A. Young, P.E., Project Manager
The Allentown Parking Authority
603 W. Linden Street
Allentown, PA 18101

Any request for additional information should be sent via e-mail to young@allentownparking.com.

NOTE: In this document the term "proposer" shall mean the person or firm making a proposal based on this RFP. The term "proposer" and the term "firm" is used interchangeably. Also, the term "you" or "your" shall refer to the proposer

The Allentown Parking Authority is seeking proposals for the site shown on Attachment “A”.

Although no specific development recommendation is being made, we are seeking a project that can be placed in B-2 (Central Business District) and a TNDO (Traditional Neighborhood Development Overlay District) that may be able to take advantage of the incentives provided under the Enterprise Zone program. A portion of the property is also located within the City of Allentown’s Neighborhood Improvement Zone (NIZ).

The term “developer” used throughout this RFP refers to a real estate development company, a small or large business, an owner, occupant, or individual that may be undertaking the redevelopment of all of the property. Your experience, capabilities, creativity, and the scope of your project will all be considered in the selection process. We will look favorably upon a use with the emphasis on residential.

2.1 The Allentown Parking Authority

The APA serves the citizens of the City of Allentown, which is located in the Lehigh Valley region of Pennsylvania, approximately 60 miles north-west of Philadelphia and 75 miles west of New York City. Allentown is the third largest city in Pennsylvania and is home to Muhlenberg College, the PPL Event Center, the Allentown Art Museum, and the Miller Symphony Hall. Allentown has a heritage steeped in history. In September of 1777, the Liberty Bell was hidden in the Zion Reformed Church, which is still located in the Downtown Business District of the City.

2.2 Development Process

Developers considering submitting a proposal may view the property at any time. If further information is needed, make an appointment with Richard A. Young, P.E., Project Manager, Allentown Parking Authority. Interested developers are then invited to submit a detailed preliminary proposal in the format described herein. Proposals must be received by the Allentown Parking Authority no later than 4:00 PM on Friday November 20, 2020. Proposals received after this time will not be considered.

Depending on the number of submittals, the RFP Evaluation Committee may establish a shortlist for interviews to select a “preferred developer”.

Following selection, the Allentown Parking Authority and the preferred developer will negotiate a period of site control during which the preferred developer will be asked to prepare and submit a complete redevelopment proposal. Prior to termination of this site control agreement, all parties will enter into a comprehensive agreement of sale. The Authority reserves the right to reject any and all proposals or responses.

The APA will require an access easement near the location of the existing Fountain Street to the proposed Maple Street Parking Garage. The exact location and height of the easement will be determined prior to closing on the property.

SPECIAL NOTE: Please note the Allentown Parking Authority CAN NOT sell a parking lot for parking. It must be used for development purposes. In addition, the Allentown Parking Authority needs to receive market rate for the properties. We will consider each proposal on its own.

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General Requirements

3.1 Benefits of the Site

- The site is a portion of 901-933 Walnut Street. (See Attachment B)
- The B-2 (Central Business District) is a district that promotes residential density and building intensity, and encourages a wide variety of retail, office, services, residential, governmental, cultural, entertainment, and institutional uses in the Downtown. The district's standards are intended to maximize commercial development opportunities and housing density, as a tool to enhancing the market for Downtown business and increase the pedestrian levels.
- A 1,000+ parking garage is proposed on the remaining portion of the property to the north.
- The TNDO (Traditional Neighborhood Development Overlay District) contain regulations intended to serve the following major purposes:
 1. To promote non-residential development that is designed to promote walkability and is of a scale and design that is compatible with adjoining residential neighborhoods.
 2. To carry out the recommendations of the City's Comprehensive Plan, including recommendations to preserve neighborhood and community character.
- The site is served by public water and sewer.

3.2 Background

Strategically located adjacent to expanding development. In addition to the PPL Event Center, the area will be home to the new Da Vinci Science Center, County Administration Offices, and numerous new commercial and residential projects. The APA has control of all parcels intended to be used for the proposed project. Other downtown initiatives have led to streetscape enhancements along Hamilton Street, (the main street in downtown), and the attraction of new retail stores and restaurants. Allentown's downtown Arts District features the Allentown Art Museum, newly renovated Symphony Hall, The Baum School of Art, the Community Music School, Lehigh County Historical Society, and numerous historic attractions. All the major arts organizations are planning significant expansions that will complement the development of an "Artswalk" and

park that will physically and operationally link these institutions in a campus-like setting. The development of an Arts Center is also being pursued in this area.

Only a few blocks to the east of downtown, the AEDC and the City of Allentown recently broke ground for the Lehigh Landing project, a development along the Lehigh River at the center of the Delaware and Lehigh National Heritage Corridor. Lehigh Landing will feature “America on Wheels”, an over-the-road transportation museum, riverwalk, visitor’s center, restaurants, recreation facilities and a boathouse for the Lehigh University Crew Club.

3.3 Regional Setting

Allentown is located in eastern Pennsylvania on Interstates 78 and 476 and is central to several of the Mid-Atlantic’s larger metropolitan areas: 55 miles to Philadelphia, 96 miles to New York City, 75 miles to Wilmington, 85 miles to Harrisburg and 152 miles to Baltimore. Lehigh Valley International Airport, with connecting flights on major airlines to almost every destination in the world, is only a 10-15-minute drive from Center Square. Allentown, the third largest City in Pennsylvania with a population of 120,000, is the largest city in the Lehigh Valley, which also includes Bethlehem and Easton. The Allentown-Bethlehem-Easton MSA had a 2000 population of 637,958.

The Lehigh Valley boasts many quality colleges and universities, including Muhlenberg and Cedar Crest Colleges that are located in Allentown, as well as the Lehigh Valley Campus of Penn State University. Lehigh Carbon Community College and Northampton County Community College also serve the Lehigh Valley Community.

4 Required Form for Preliminary Proposal

All submissions, including attachments, must be one-sided pages that are 8 ½ x 11 inches (excluding maps, plans, sketches or pre-existing brochures).

Respondents shall submit 10 copies of the proposal, including attachments.

4.1 Project Narrative

As a minimum, provide the following:

- Conceptual description and scale of the proposed development. Full architectural drawings and renderings are not required at this point in the process; however, the developer will be required to explain proposed improvements to the RFP Evaluation Committee.
- Tentative development schedule, addressing all appropriate phases of the project, including an estimated completion date.
- Estimated total development cost.
- Preliminary description of proposed financing methods for the redevelopment project. All financial information is confidential and will not be released to any other source without developer's prior written permission.

4.2 Required Incentives (if any)

List any services, actions, loans, or grants you expect the Allentown Parking Authority to provide in order for the project to be successful.

4.3 Type of Site Control Required and Consideration Offered

The developer should identify the type and duration of site control required. (For example: An option for 60 days; due diligence period of 90 days; conditional agreement to enter into an agreement of sale within a given period of time, etc.) The developer should indicate the consideration being offered for the site control desired.

4.4 Considerations for Site Acquisition

State the total consideration (purchase price) being offered for the desired site or sites. Consideration will be given to the scope of the project, design, and identifiable direct and indirect benefits to downtown Allentown.

4.5 Developer Information

As a minimum, provide the following:

- Name of developer and legal status (i.e., sole proprietorship, corporation, partnership, non-profit corporation, etc.)
- Identification of principals and key individuals of the development team, as well as qualifications, background, and experience of each named individual.
- Outline overall staffing and specialties of development firm, including qualifications, selected activities pertinent to this project and detailed description of developer's previous relevant project experience.
- Description of developer's role in similar projects. List completed similar development projects describing the type, location, size, cost, date of completion and the firm/team's role within the project. Brochures and other information regarding the firm and/or comparable projects are welcome.
- Preliminary statement of available financial resources, up to the estimated cost of the planned development.

5 Questions

Richard A. Young, P.E., Project Manager
Allentown Parking Authority
603 W. Linden Street
Allentown, PA 18101

E-Mail: ryoung@allentownparking.com

Phone: (610) 841-8822
Fax: (610) 432-3330

APPENDIX A

DRAFT DESCRIPTION OF OUTPARCEL

DRAFT

Description for Proposed Outparcel
Maple Street Garage
Allentown Parking Authority
September 11, 2020

ALL THAT CERTAIN tract of land situate on the northwesterly side of West Walnut Street (S.R. 0222) and west of South 9th Street in the City of Allentown, 3rd Ward, Lehigh County, Pennsylvania, as shown on a plan entitled "Proposed Outparcel, Maple Street Garage", prepared by RETTEW Associates, Inc., Drawing No. 096772021, dated September 11, 2020, being more fully bounded and described as follows:

BEGINNING at the southeasterly corner thereof, at a point on the northwesterly right-of-way line of West Walnut Street (S.R. 0222), said point being located S 68° 54' 29" W a distance of 16.91' from a corner of lands now or formerly of Allentown Parking Authority;

Thence along the northwesterly right-of-way line of West Walnut Street S 68° 54' 29" W a distance of 275.08' to a point;

Thence through lands now or formerly of Allentown Parking Authority the following three courses and distances:

1. N 21° 05' 31" W a distance of 48.33' to a point;
2. N 68° 38' 50" E a distance of 275.08' to a point;
3. S 21° 05' 31" E a distance of 49.58' to the point and place of BEGINNING.

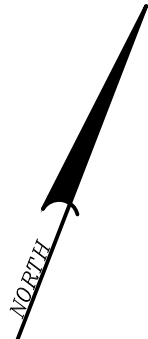
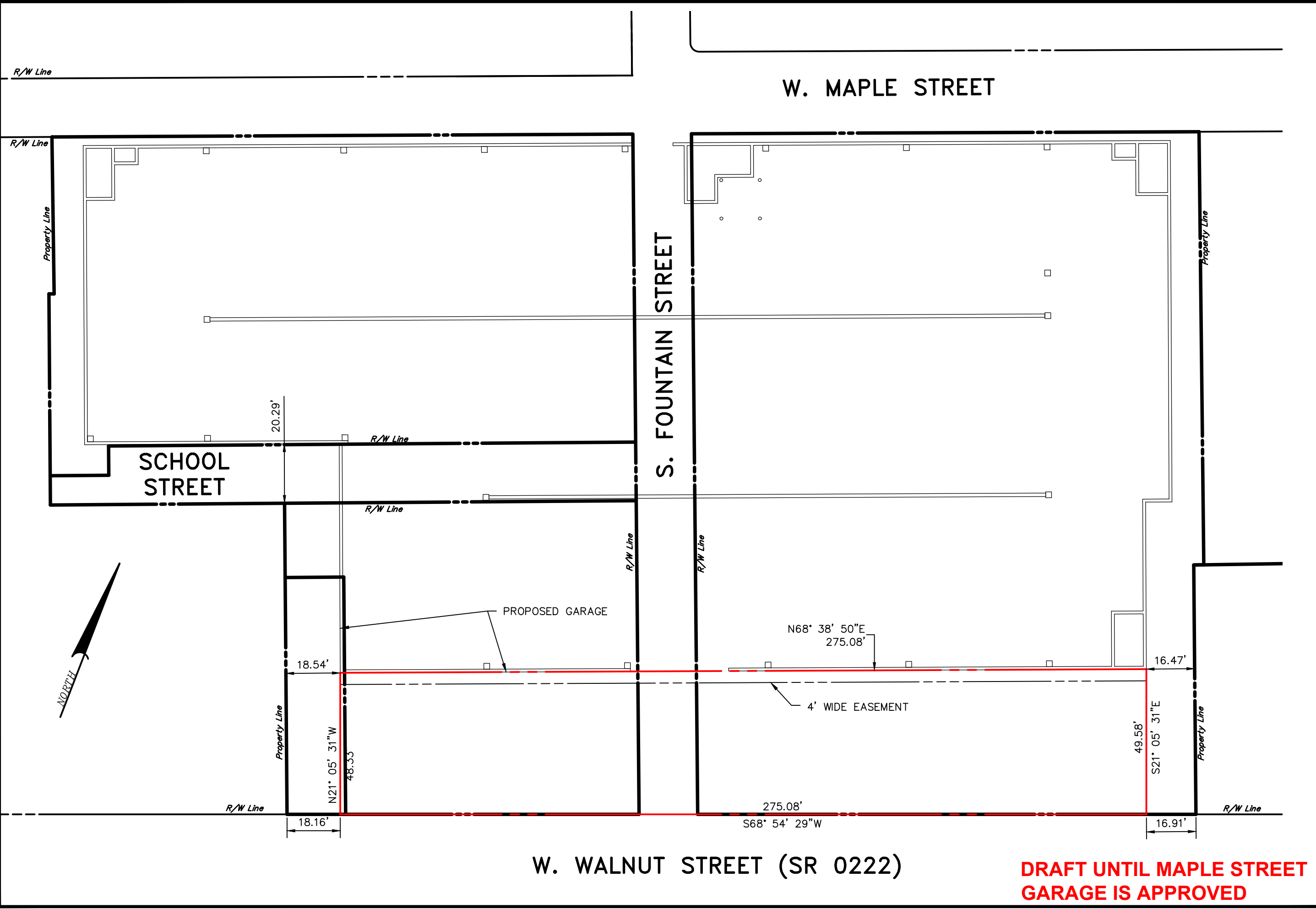
CONTAINING: 13,467 Square Feet, or 0.309 Acres

Subject to a 4'-wide foundation and utility easement.

Also subject to an approximately 43'-wide access, utility and grading easement.

APPENDIX B
DRAFT PLAN OF OUTPARCEL

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DRAFT UNTIL MAPLE STREET GARAGE IS APPROVED

DRAWN BY: ELN
 DATE: 09/11/20
 SCALE: 1" = 30'
 DWG. NO. 096772021

RETTIEW
 RETTEW Associates, Inc.
 515 W. Hamilton St., Suite 508, Allentown, PA 18101
 Phone (800) 738-8395
 Email: rettew@rettew.com
 Website: www.rettew.com

PROPOSED OUTPARCEL
MAPLE STREET GARAGE
 CITY OF ALLENTOWN, 3RD WARD LEHIGH COUNTY, PA